



Notice of Complete Application and Public Meeting

Meeting Date:	October 6, 2026
Time:	6:00 PM
Location:	County of Brant Council Chambers, 7 Broadway St W, Paris or Online at brant.ca/live

Details of Application:

Application Type:	Minor Variance
Application No:	A7-26-AV
Location:	5 MELISSA AVENUE
Agent / Applicant:	Cohoon Engineering/R W Phillips
Owner:	Catharine Ritchie

This application proposes: to recognize the existing garden suite as an Additional Residential Unit (ARU) and to permit the existing accessory structures with a total lot coverage of approximately 296 m², whereas the Zoning By-law permits a maximum of 140 m²

Planner: Afsoon Veshkini , Planner, 519-442-7268 Ext. 3014, Afsoon.Veshkini@brant.ca

To view the application and supporting documents, please contact the Planning Department. 66 Grand River Street North, Paris, Ontario, N3L 2M2 or by email to the Planner noted above.

What is the Purpose of this Meeting?

Pursuant to Section 45 & Section 53 of the Planning Act, Notice is hereby given that County of Brant has received a "Complete Application" for the proposal described above in accordance with the Planning Act.

- A Public Meeting, as required by the Planning Act, will be held by Council to provide information and receive public comments on the application outlined above. Based on all the facts presented, the County of Brant Council will make a decision on those matters for which they are responsible.

How To Get Involved?

Council will review the application, and any other material received in order to make an informed decision on the application.

Written Submissions

- Written submissions must be made to the Planning Division one week prior to the meeting to allow your comments / concerns to be distributed to the members of Council.
- Any comments received after the agenda is posted, will be presented to Council on the evening of the meeting.

In-person / Virtual Presentations

- Any person may attend the Council Meeting. Registration is **recommended** to make a verbal presentation. **Please contact clerks@brant.ca to register as a public delegate prior to the meeting.**

Where do I send written submissions?

To submit written feedback please send to the Planning Department:

In person or mail

66 Grand River Street North

Paris, ON N3L 2M2

Office hours are Monday to Friday, 8:30 am – 4:30 pm

519.44BRANT (519.442.7268) or toll-free 1.855.44BRANT or email planning@brant.ca

How can we find out the Decision?

If you wish to be notified of the Decision in respect to the proposal, you must sign the register provided at the Public Meeting or make a written request to location/ contact noted above.

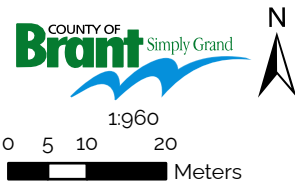
Who can appeal a Decision?

The applicant, the Minister or a specified person or public body as per the Planning Act may appeal to the Ontario Land Tribunal (OLT). To learn more about your appeal rights, visit brant.ca/planningapplications

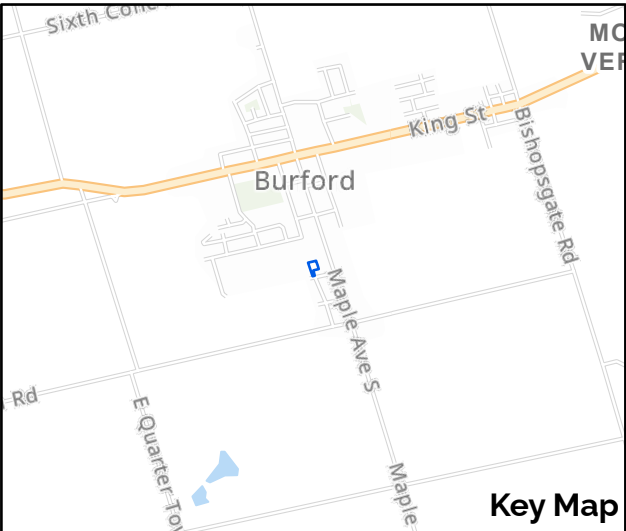
** Note: Under the authority of the Municipal Act, 2001 and in accordance with Ontario's Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), The Corporation of the County of Brant wishes to inform the public that all information including opinions, presentations, reports and documentation provided for or at a Public Meeting, Public Consultation, or other Public Process are considered part of the public record. This information may be posted on the County's website and/or made available to the public upon request.*

MAP 3: AERIAL IMAGERY 2024
FILE NUMBER
A7-26-AV

5 Melissa Avenue
County of Brant
Ontario

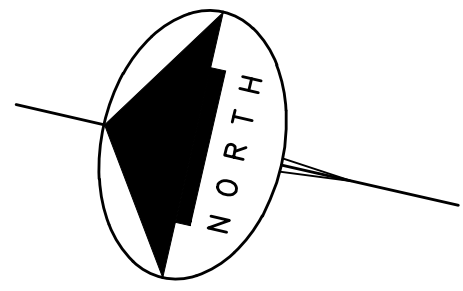


Date Printed:2026-07-21



Key Map





LEGEND:

EXISTING ELEVATIONS

PROPOSED ELEVATIONS

PROPOSED SWALE ELEVATIONS

PROPOSEN SWAIE

CELESTIAL DYNAMICS

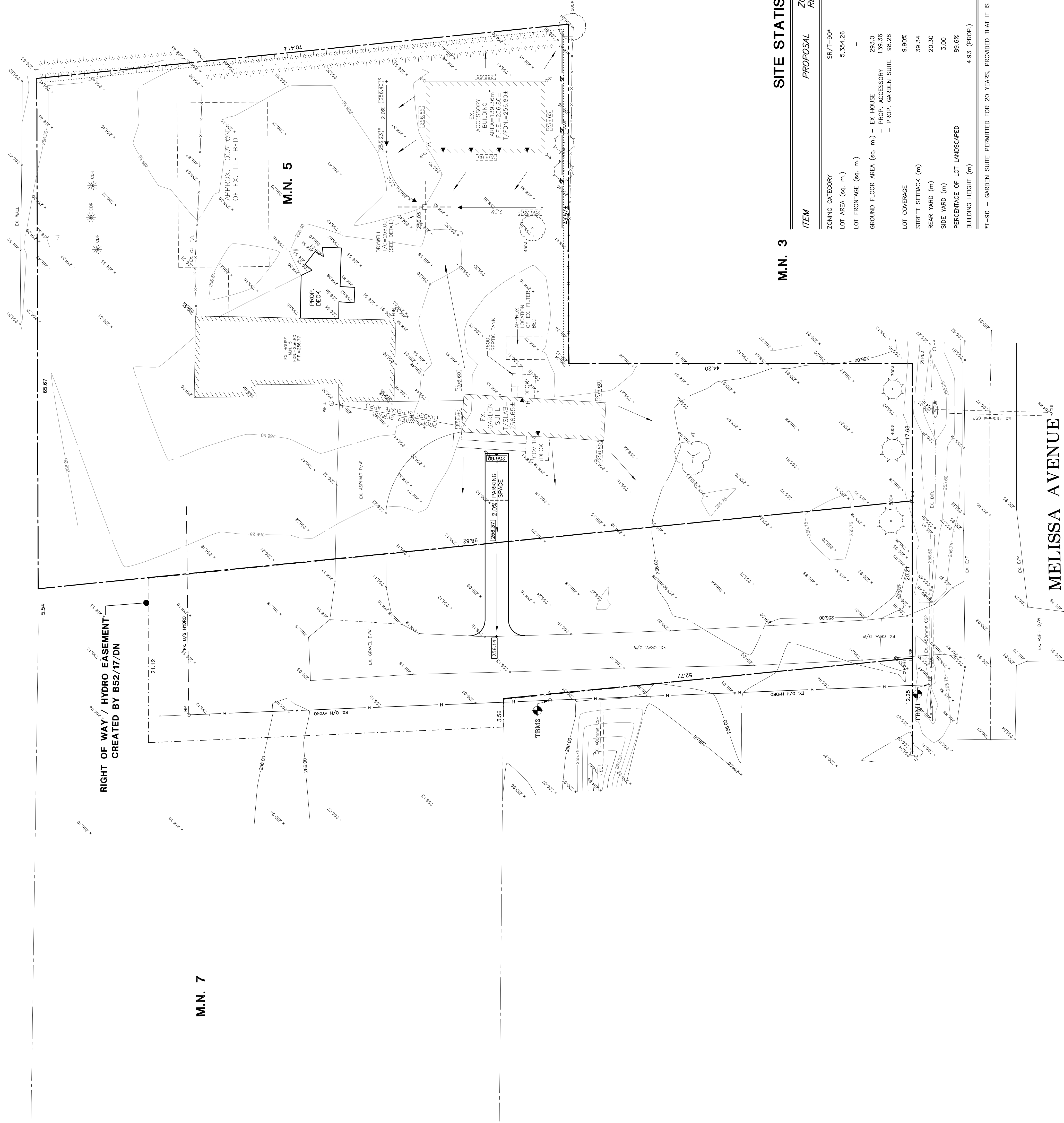
GENERAL DIRECTION
DENOTES OVERHEAD DOOR LOCATION

DENOTES OVERNIGHT BOOK LOAN
DENOTES MANDOR LOCATION

DENOTES DOWNSBOLT LOCATION & FLOW DIRECTION

M.N. 7

**RIGHT OF WAY / HYDRO EASEMENT
CREATED BY B52/17/DN**



MELISSA AVENUE

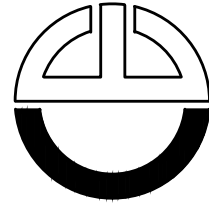
SITE STATISTICS

M.N. 3

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS	ACCESSORY BYLAW REQUIREMENTS
ZONING CATEGORY	SR/T-90*	SR/T-90*	SR/T-90*
LOT AREA (sq. m.)	5,354.26	3000 MIN.	—
LOT FRONTAGE (sq. m.)	—	30.0 MIN.	—
GROUND FLOOR AREA (sq. m.) — EX HOUSE	293.0	N/A	—
— PROP. ACCESSORY	139.36		140.0 MAX.
— PROP. GARDEN SUITE	98.26		—
LOT COVERAGE	9.90%	30% MAX.	—
STREET SETBACK (m)	39.34	7.50 MIN.	—
REAR YARD (m)	20.30	7.50 MIN.	1.50 MIN.
SIDE YARD (m)	3.00	1.50 MIN.	1.50 MIN.
PERCENTAGE OF LOT LANDSCAPED	89.6%	30% MIN.	—
BUILDING HEIGHT (m)	4.93 (PROP.)	10.5 MAX.	6.00 MAX.

*T-90 - GARDEN SUITE PERMITTED FOR 20 YEARS, PROVIDED THAT IT IS REMOVED BEFORE AUG. 4, 2040

T.B.M. No. 1 ELEV. = 255.87m		(GEO)	
NAIL ON SIDE OF HYDRO PILE AS SHOWN.			
NO.	REVISION	DATE (MM/DD/YY)	BY
6	DECK/SITE STAT'S UPDATED	06/19/26	S.L.M.
5	EXISTING CONDITIONS	04/07/26	S.L.M.
4	AS PER COUNTY COMMENTS	11/03/20	S.L.M.
3	AS PER COUNTY COMMENTS	10/27/20	S.L.M.
2	DIMENSION GARDEN SUITE	09/01/20	S.L.M.
1	AS PER COUNTY COMMENTS	08/06/20	K.P.B.



**J.H. COHOON
ENGINEERING
LIMITED**

CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohconeng.com

PROJECT:

PROPOSED
ACCESSORY BUILDING
5 MELISSA AVENUE, BURFORD
COUNTY OF BRANT

CLIENT:

KATIE RICHIE

EXISTING CONDITIONS PLAN

DESIGN:	R W P	SCALE:	1.250
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DRAWN: C I M

3.L.MI.

CHECKED: R.W.P.

QUESTIONS

DWG. NO. 12264-3-EX