

Sample Site Plan

Why do I need to submit a site plan?

A development permit approves the **use** and **location** of your proposed structure. Parkland County compares your application to the regulations listed in the Land Use Bylaw, which outlines such items as maximum site coverage and the distance the structure is required to be from the nearest property line (i.e. Setbacks).

A Site Plan must show:

Use of straight edge required.

Property Address

North Arrow

Natural Features

Label any wetlands, open water, treed areas and/or drainage courses (i.e. a creek)

Rights-of-ways or Easements

Label any legally registered rights-of-ways or easements. Structure(s) cannot be approved in these areas.

TIP: Look at your [Land Title](#) to learn more about any registrations on your property.

Property Lines

Draw and label all legal property lines

TIP: Fenceline does not always indicate property line. Often, they aren't built on the legal boundary. Go to [Discover Parkland](#) to view your property lines.

Existing Structure(s)

Draw and label all existing structures on the property (i.e. existing house, shed, etc.)

Proposed Structure(s)

Draw and label the structure(s) you are proposing to build

Setbacks from Property Line

Identify the distance from the wall of the proposed structure to the property line. Must show the setback distance from at least **two** property lines.

TIP: Your Land Use District in the [Land Use Bylaw](#) identifies required setback distances.

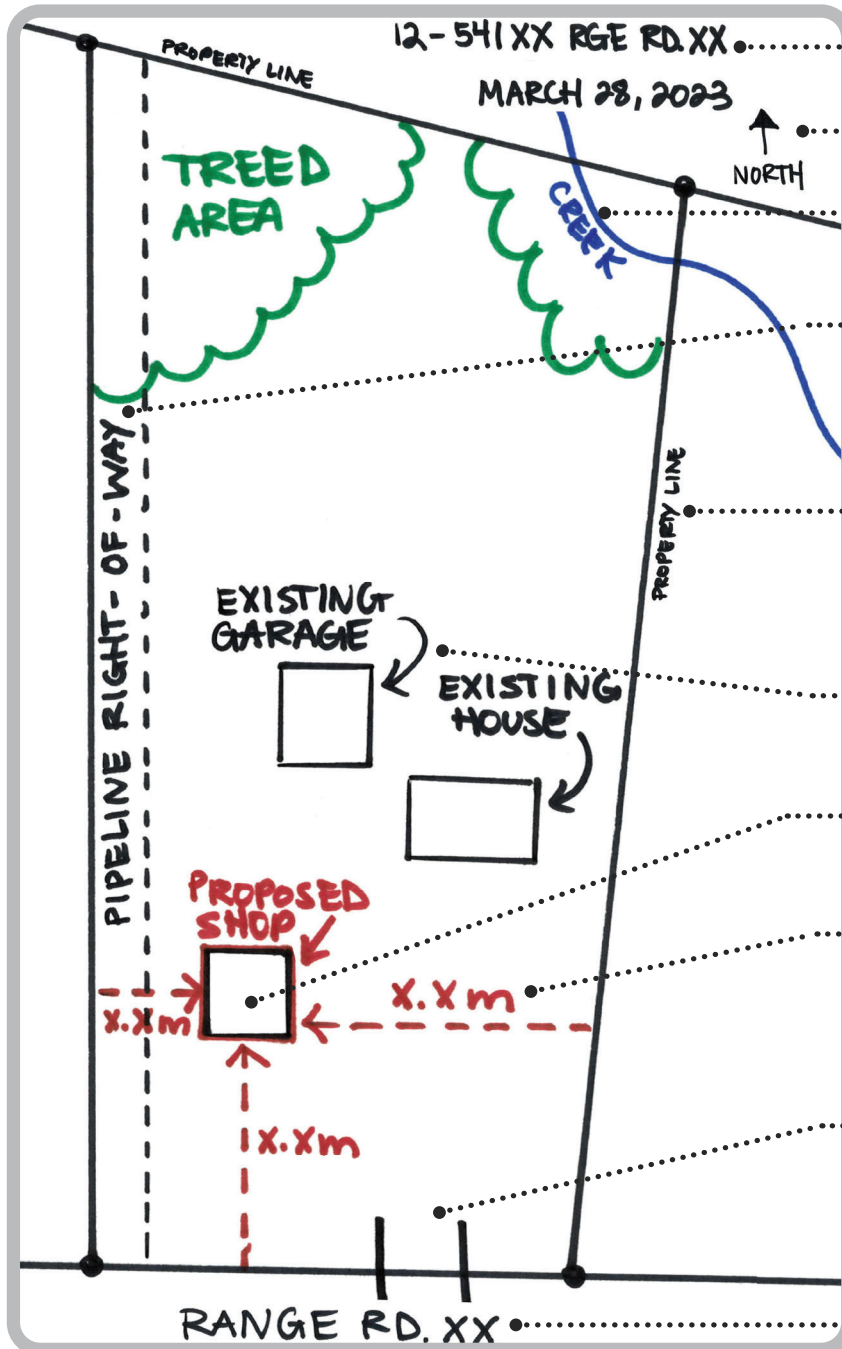
Existing or Proposed Access

Identify how the property is accessed from a public roadway.

TIP: For new or upgraded approaches, submit an [Approach Application](#) to Parkland County Engineering Services

Adjacent Roadway(s)

Label all adjacent roadways



DISCLAIMER | A professionally drafted site plan may be requested at the discretion of the Development Authority as per Land Use Bylaw Section 16.3.1(c).

FREQUENTLY REQUESTED LINKS

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PARKLAND

PLANit
Application
Portal

Land Use
Bylaw

2023 Fee
Schedule

Sample Building Elevations

What are Building Elevations?

Elevation drawings show the form and character of the proposed Accessory Building including building height, building dimensions, exterior finishings, and openings (i.e. doors and windows).

TIP: This sample shows the minimum level of detail required for a development permit application. For Safety Codes permits, you are required to show the dimensions of all openings and the pitch of the roof. For all new dwellings and commercial uses, professionally drafted drawings are required.

Building elevations must show:

Use of straight edge required.

Building Height

Label the height of the structure from inside wall grade to peak of roof

Building Dimensions

Label the width and depth of the structure

Openings

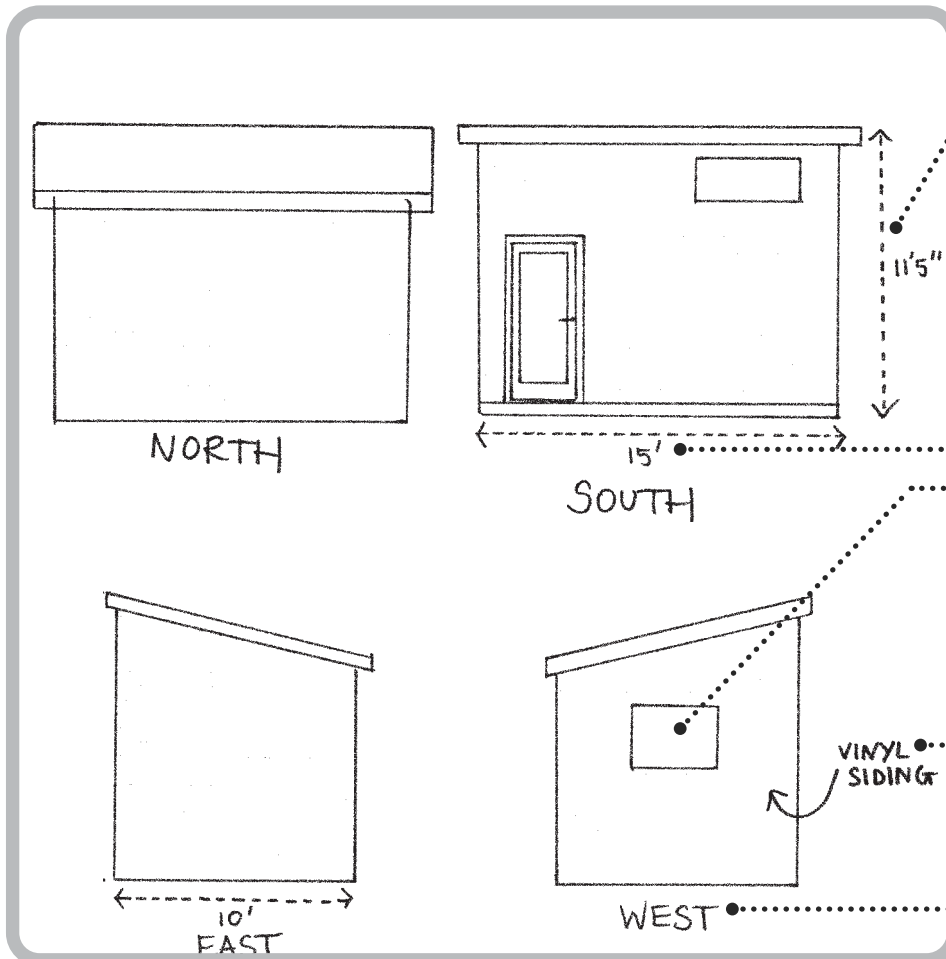
Draw the proposed openings. This includes door and windows.

Exterior Finishings

Label the proposed material being used for the exterior of the structure

Direction Labels

Label each side of the structure (north, east, south, west)



DISCLAIMER | Professionally drafted building elevations may be requested at the discretion of the Development Authority as per Land Use Bylaw Section 16.3.1(f).

How tall can my Accessory Building be?

My parcel is located...

in a Residential District
(i.e. Country Residential, Lakeshore Residential)

Max. Height

8.0m (26'2")

directly adjacent to a Multi-Parcel Residential Subdivision
(i.e. near a named subdivision)

8.0m (26'2")

in the Bareland Recreational Resort District
(i.e. Trestle Creek, Sunset Shores, PineRidge RV Resort)

3.5m (11'5")

None of the above
(i.e. agricultural lands adjacent to a full quarter section)

No Limit

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Sample Floor Plan

Why do I need to submit a floor plan?

While a development permit approves the location of the accessory building, it also approves the **intended use** and **size** of the structure. Parkland County compares your application to the regulations listed in the Land Use Bylaw, which outlines items such as the maximum building coverage for accessory buildings. This looks at the total combined square footage for all accessory buildings (i.e. sheds, shop, detached garage) in relation to your parcel size.

Floor Plans must show:

Use of straight edge required.

Room Dimensions

Label the width and depth of each room

Identify Use

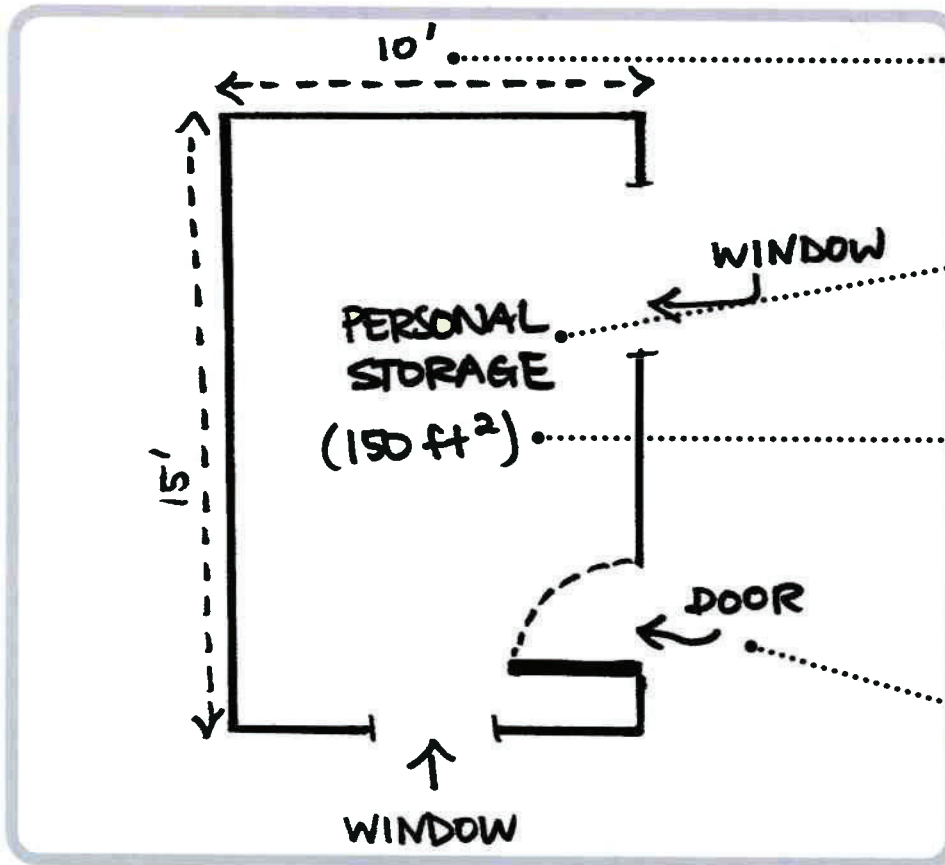
Label the use of each room (i.e. personal storage, workshop, etc.)

Total Floor Area

Label the total floor area of each floor (i.e. square footage)

Openings

Draw and label all exterior openings (i.e. windows and doors)



DISCLAIMER | Professionally drafted floor plans may be requested at the discretion of the Development Authority as per Land Use Bylaw Section 16.3.1(f).

RESIDENTIAL - How many Accessory Buildings can I have?

Parkland County's Land Use Bylaw (LUB) does not limit the **number** of Accessory Buildings. Instead, the LUB outlines requirements for **total square footage** of all Accessory Buildings on a property. For properties in Residential districts, the total allowable square footage of all Accessory Buildings is related to your parcel size.

Does my agricultural building count?

If your parcel is two acres or greater and the structure is strictly used to house livestock, store or repair agricultural equipment, store farm produce and/or livestock feed, then no development permit is required and the square footage of the structure is not included in Accessory Building calculations.

My parcel is...

less than (or equal to) 0.40 hectares (≤ 0.99 acres)	180m ² (1,937ft ²)
less than (or equal to) 1.21 hectares (≤ 2.99 acres)	280m ² (3,014ft ²)
less than (or equal to) 2.02 hectares (≤ 4.99 acres)	326m ² (3,509ft ²)
less than (or equal to) 4.04 hectares (≤ 9.99 acres)	375m ² (4,036ft ²)
less than (or equal to) 16.19 hectares (≤ 40.00 acres)	425m ² (4,574ft ²)
larger than 16.19 hectares (> 40.00 acres)	650m ² (6,996ft ²)
not in a Residential District	No limit

FREQUENTLY REQUESTED LINKS

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